

INTRODUCTION

Compass directions give the orientation for specific locations identified in the report. If these are not practical then the locations will be given from the perspective of facing the building from the street.

Throughout this report where the age of roofs or other items are stated the age shown is approximate.

When an item or system is said to be "satisfactory" in the report, this means that it is in average condition. The item or system should give generally satisfactory service within the limits of its age excluding any defects or potential problems noted during the inspection or in the report.

When an item or system is said to be in "good" condition this means it is in above average condition in relation to other items of a similar age, type, or style of construction.

When an item or system is said to be in "fair" condition, this means it is in average to below average condition in relation to other items or systems of a similar age, type, or style of construction, excluding any defects or problems noted during the inspection or in the report.

When an item is stated to be in "poor" condition this means it is below average in relation to other items of a similar age, type, or style of construction and may need repairs or other attention immediately or in the near future as recommended in the report.

GENERAL CONDITION OF DWELLING

The dwelling is a north facing two-story block and framed structure on slab with a hip type roof design. The dwelling was constructed circa 1984.

At the time of the inspection, we found the structure to be in fair overall condition in relation to other buildings of a similar age and style of construction.

We did not find any visual evidence of structural deficiencies or major defects. We did find some items needing attention that will be noted later in the report.

The dwelling was in need of general maintenance and repair.

ROOFS

S-Type Tile Roof

The roof surfaces were inspected visually by walking on them.

Accessible attic areas, eaves, and interior ceilings were checked for signs of leakage.

The main structure has a painted S-type concrete tile roof.

This type of roof is typically constructed by first installing a 90-lb. rolled roofing material over a felt base sheet, then installing the tiles to protect the underlayment from the elements.

Concern Item: This roof appears to be approximately 30 years old (circa 1984) and is at the end of its useful lifespan. The average life expectancy for this type of roof is 20-30 years in Florida.

Repair Needed: We noted numerous cracked and damaged tiles that were exposing underlayment.





Repair Needed: some of the exposed underlayment was showing signs of deterioration and will need to be repaired or replaced.



Broken tile is a common occurrence and does not indicate roof failure. Tiles should be checked periodically and any found exposing the underlayment should be repaired or replaced.

Edge metal was in satisfactory condition and intact.

Recommendation: We recommend contacting a licensed roofing contractor regarding replacement of this roof.

Vents and Flashings

Unless noted below, the vents and galvanized flashing appeared to be in serviceable condition and properly sealed at the time of this review, however, the periodic resealing of the flashing may be expected as part of routine maintenance.

Repair Needed: The masonry crown and cap were heavily deteriorated and will need to be rebuilt or removed.





Replacement Needed: The metal cap for the chimney had corroded away.



The exterior skylight condition was satisfactory. Periodic resealing of the flashing around the skylight may be needed for the area to remain watertight.

NOTE: Opinions stated herein concerning the roof are in regard to the general condition of the roofing surface as evidenced by our visual review at the time of the inspection. These do not constitute a guarantee or warranty as to whether the roof leaks or may be subject to leaking. Roof pitches are not calculated.

FOUNDATION

Foundation Condition

Due to the concrete slab construction, interior supports and reinforcement members (enclosed within walls, slabs, under grade, etc.) were inaccessible for physical or visual review.

Typical slab construction consists of a poured concrete slab over a concrete block foundation wall, supported by a reinforced poured concrete footing. Some slabs are poured as an integral part of the footing (i.e. monolithic or bell type). The visually accessible portions of the support systems appeared to be sound and in serviceable condition.

Grading

The grading and drainage around the perimeter of the dwelling should be monitored and re-graded as necessary (proper drainage could not be confirmed during our visual inspection). The grade should be maintained so that the water flows away from the foundation at all times.

EXTERIOR

Exterior Walls, Soffit, Fascia, and Doors

The exterior walls are constructed with concrete block and wood framing (2nd floor) and are covered with stucco.

Concern Item: Due to the lack of drainage openings (weep screeds) in the stucco siding for the framed 2nd story, it is very important to ensure that any gaps or cracks in the stucco are properly sealed to prevent moisture from penetrating behind the siding and damaging the framing and sheathing.

Concern Item: The windows and doorways were missing casing beads in the stucco, which will make it difficult to keep the openings in the exterior wall from leaking.

Repair Needed: We noted numerous areas where the stucco siding on the framed portions of the dwelling were heavily cracked and/or buckling. Active moisture intrusion was detected in many of these areas. In some areas the stucco had opened to the point where the sheathing was exposed. We recommend removing all stucco from the framed portions of the dwelling to allow further inspection and, if necessary, repair to the sheathing and framing. Any new stucco should be installed with the appropriate drainage to meet current standards.







The exterior soffit is covered with vinyl, and the fascia is wood.

The soffit is ventilated. Ventilation screening should be repaired as necessary as part of general maintenance to prevent pest entry. Soffit openings should be maintained for proper ventilation.

Unless noted below, the walls, doors, soffit and fascia surfaces were found to be in satisfactory overall condition.

Maintenance Needed: The exterior doorways and window opening should be resealed.



Maintenance Needed: Any vegetation contact with the exterior walls should be trimmed back.



NORTH ELEVATION:

Repair Needed: We noted cracks and detected active moisture intrusion behind the stucco on the walls inside the archways located to the right of the main entry. The stucco siding should be removed to allow further inspection of the sheathing and framing.



Repair Needed: Some of the balusters for the railing around the lower deck at the northeast corner of the dwelling were coming loose.



Repair Needed: The pavers on the upper deck at the northeast corner the dwelling should be reset and secured.



SOUTH ELEVATION:

Repair Needed: The stucco siding on the field and archway behind the spiral staircase was heavily cracked and deteriorated. We noted deteriorated framing behind the stucco. The stucco should be removed to allow the area to be properly repaired.



Repair Needed: The corners of the railing around the upper deck at the southeast corner the dwelling were not secured to the deck. The pavers on the deck should be reset and secured.



Maintenance Needed: The window openings on the sunroom should be sealed prevent moisture intrusion behind the stucco.





Repair Needed: The loose pavers on the upper deck near the midpoint the elevation should be reset and secured.



EAST ELEVATION:

Repair Needed: We noted cracks in the privacy wall at the northeast corner the dwelling. The wall may need to be rebuilt.



Maintenance Needed: The penetrations through the exterior wall for the air conditioning and electrical piping should be sealed as part of pest and moisture prevention.



WEST ELEVATION:

Repair Needed: We noted cracks and detected active moisture intrusion behind the stucco on the walls inside the along the elevation. The stucco siding should be removed to allow further inspection of the sheathing and framing.





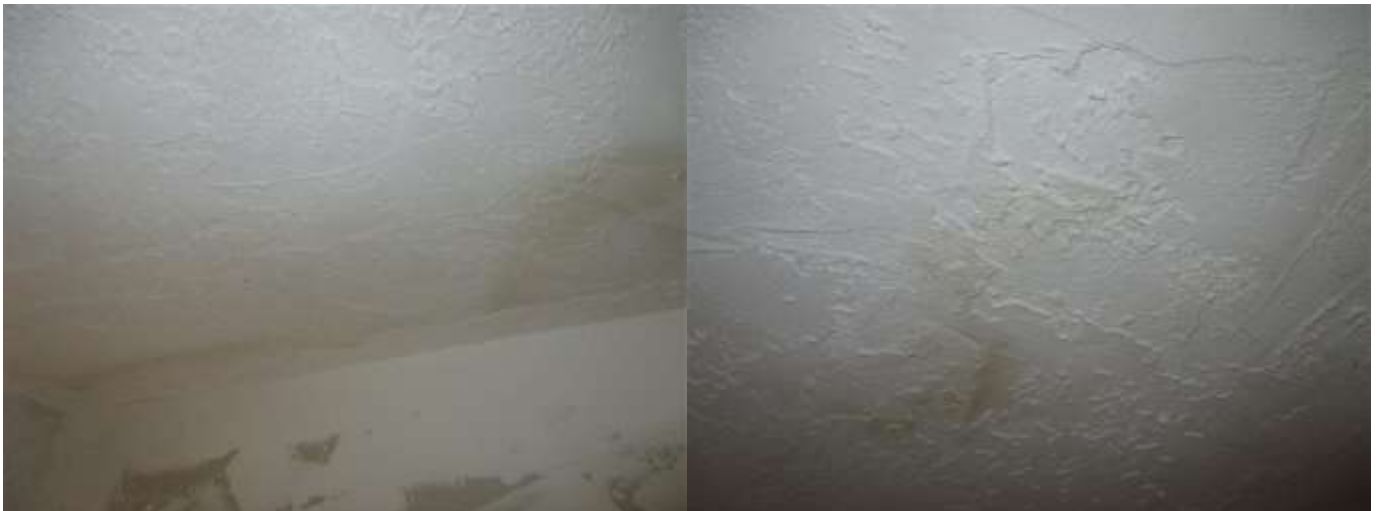
Repair Needed: We noted splits in the seams of the material on the upper deck. We also noted several areas of blistering, including one area where the deck covering had deteriorated to the point where it was allowing moisture to damage the sheathing.





GARAGE:

Concern Item (To Be Monitored): We noted numerous areas of staining to the ceiling in the garage, indicating areas of past moisture intrusion. Although these areas tested negative for active moisture intrusion at the time of inspection, they should be monitored.





Some minor cracking (hairline, less than 1/16", etc.) was noted in a few areas around the perimeter of the dwelling.



These generally appeared to follow the mortar joints between the courses of blocks (stair step pattern) and are a normal occurrence found in homes of this design. We did not notice any wall deflection or evidence of racking to doorframes or window openings in these areas at the time of the inspection.

No visual evidence of structural problems was found, however, the cracks should be monitored for further movement.

As part of normal maintenance caulk and seal all of the gaps in the exterior of the building (around doors, windows, plumbing and electrical entry openings, etc.) to prevent air, moisture, and pest infiltration. Settlement cracks should be monitored for any further movement after patching.

NOTE: The best way to seal small openings and minor settlement cracks is to fill the crack with a high quality flexible type caulking and then paint.

Driveways, Walkways, Patios and Retaining Wall

The concrete and walkway pavers were in fair overall condition (some cracks noted).



Repair Needed: We noted crack in the concrete patio on the south elevation.



Gutters

The gutter system needs some maintenance/repair.

Correction Needed: The gutters along the upper roof were holding water and should be adjusted so that water will flow towards the downspout. We also noted leaking from the gutters.



Periodic maintenance/repair should be anticipated for the system to perform properly (i.e. cleaning, resealing joints, etc.).

We recommend installing splash blocks at the base of all downspouts to control soil erosion.

PLUMBING

The functional water flow was tested and found to be satisfactory.

The dwelling is hooked up to the city/county water and sewer system.

Distribution, Drain and Vent Piping

The structure appeared to be equipped with copper distribution piping and with PVC drains and vent piping.

Interior Plumbing Systems

Unless noted below, no leakage was noted in the accessible piping. Some plumbing repairs (dripping faucets, commodes, etc.) should be anticipated from time to time.

Correction Needed: The standpipe in the laundry did not appear to have a drain trap installed. They should be corrected to prevent sewer gases from venting into the room (safety concern).



Repair Needed: The hot control knob was leaking at the sink in the south hall bathroom should be replaced.



Correction Needed: The showerhead was not installed in the south hall and southeast second-floor bathroom shower and should be replaced.



Repair Needed: The control knob was leaking in the south hall bathroom shower and likely needs the cartridge replaced.



Repair Needed: Commode was leaking at the base in the south hall bathroom and the wax ring should be replaced.



Repair Needed: We noted a leak from the drain pipe under the left set of kitchen sinks and the faucet was leaking at the switch mechanism.



Maintenance Needed: The left kitchen sink (left set) was not drain properly the time of the inspection will need servicing.



Repair Needed: The right kitchen sink could not be operated time of the inspection. It was stated that the sink backs up and recommend having this operational at final walk-through.



Correction Needed: The master bathroom commode and bidet were loose the base and should be secured.



Repair Needed: The left master bathroom sink drain pipe was leaking.



Maintenance Needed: The left master bathroom sink drained slowly the time the inspection will need servicing.



Repair Needed: The cutoff valve for the commode in the southeast second-floor bathroom and both cutoff valves for the bidet in the second-floor hall bathroom were leaking and likely needs the packing replaced.





Repair Needed: The control knob was leaking in the second-floor hall bathroom tub and likely needs the cartridge replaced.



Recommendation: For further evaluation and repair of the plumbing systems, we recommend contacting a licensed plumbing contractor.

Whirlpool Tub

The whirlpool tub located in the master bathroom. Whirlpool tub and spa units should always be equipped with a GFCI protected circuit, and access to the motor/pump should also be provided.

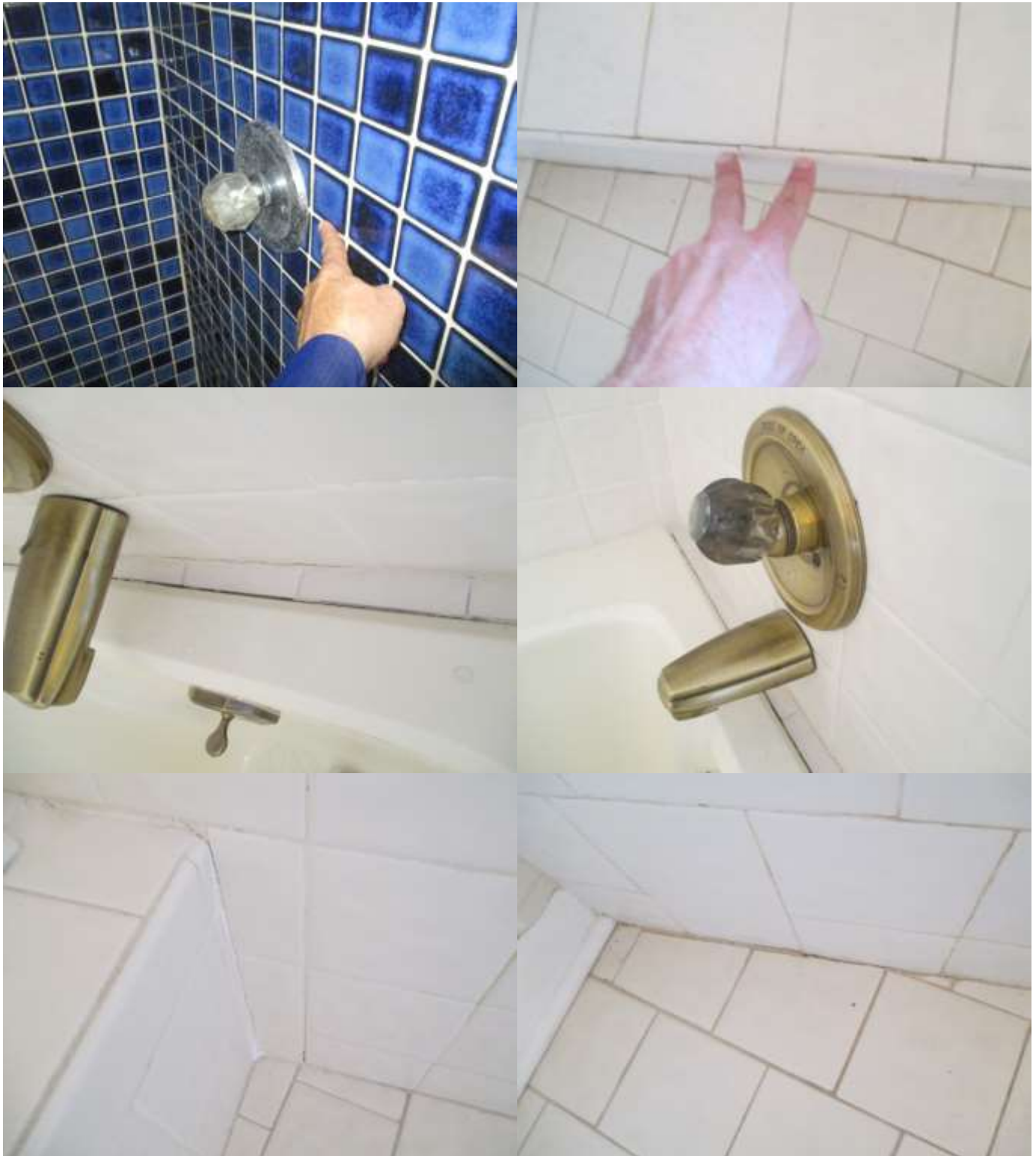
Repair Needed: The whirlpool tub was not operational the time of the inspection. A plumbing and motor access was not present at the time of the inspection and could not determine if a dedicated GFCI receptacle was present. We recommend verifying that it is GFCI protected prior to use.



Tile and Waterproofing

Maintenance Needed: The cracked grout, control plate, downspout in the bathroom tub and shower areas should be resealed with a bathroom rated silicone caulk to prevent moisture intrusion by the tile.





We recommend periodically caulking and resealing tile in the bathrooms as part of normal maintenance. Bathroom wall coverings should be kept sealed and water-resistant in proper areas to prevent possible moisture damage.

Unless noted below, the bathrooms were equipped with exhaust fans and/or operable windows.

Exterior Plumbing Systems

Unless noted below, the exterior hose bibs were operational at the time of the inspection.

The main water cutoff for the dwelling was located on the north wall the garage.



General Information Item: A water conditioning system was installed in the garage. The system was only visually inspected. For further information regarding the operation and servicing of the system we recommend contacting the installer or the manufacturer.



Correction Needed: The water conditioning system was connected to the water supply using standard (schedule 40) PVC, which should be replaced with piping rated for interior use (i.e. copper, CPVC or PEX) .



Hot Water Heater

The 119-gallon electric hot water heater (circa 2005) appeared to be operating properly at the time of the inspection. The average life expectancy of a hot water heater is approximately 15-25 years. Hot water heaters generally need not be replaced unless they leak.

Correction needed: The relief valve did not have a drain line installed, which should be corrected for proper safety. The relief valve was not tested.



According to present day requirements, hot water heaters should have a pressure relief valve and drain line, which flows by gravity to the exterior, or downward to within 4 inches of the structure floor.

Correction Needed: An auxiliary drain pan was not installed under the hot water heater unit at time the inspection.



The size of the drain line should match the outlet size of the relief valve, and an auxiliary pan with a 1" drain line is required underneath when the unit is installed at or above the level of the living area.

Gas units should be raised 18" above the garage slab.

The unit appeared to be properly equipped. The relief valve was not tested.

We recommend installing any future units in accordance with existing regulatory requirements.

AIR CONDITIONING/HEATING

Heat Pump System

The dwelling is equipped with two 3.0-ton electric, forced air heat pump systems (circa 2005 and 2007).

Exterior heat pump units have a normal life expectancy of 10-15 years.

Repair needed: The air conditioning mode on the 1st floor did not appear to be operating properly at the time of the inspection. In the A/C mode the supply air was 62.4°; the return air was 83.1° for an operating differential of 20.7°. The normal operating differential range is between 14.0° and 20.0°.



Repair needed: The air conditioning mode on the second-floor did not appear to be operating properly at the time of the inspection. In the A/C mode the supply air was 68.5°; the return air was 85.1° for an operating differential of 16.6°. The normal operating differential range is between 14.0° and 20.0°.



General Information Item: The heat mode was not tested due to the high ambient air temperature.

Recommendation: We recommend having a licensed heating and air contractor service the system and repair as necessary.

Heat pumps should be serviced at least once a year.

General Information Item: We noted the remnants of a heat recovery system mounted on the wall behind the heat pump units. The unit was no longer in use at the time of inspection.



Air Handler

The 1st floor is equipped with a 3.0-ton air handler unit (circa 2007).

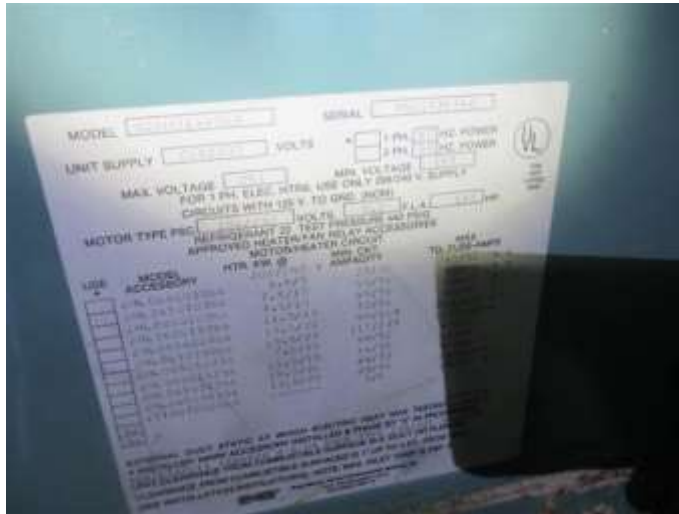
Electric furnaces have a normal life expectancy of 15-20 years.

A float switch was present on the unit. The float switch was not tested. Water was not induced, and we do not warrant the performance of the system when actual water is present. Float switches should be tested periodically (i.e. when serviced).

A condensate pump was present on the unit. The pump was not tested. Water was not induced, and we do not warrant the performance of the system when actual water is present. Condensate pumps switches should be tested periodically (i.e. when serviced).

The second-floor hallway is equipped with an air handler unit.

Concern Item: We could not determine the size or age of the air handler unit in the second-floor hallway closet from the manufacturer's plate. Based on our visual inspection, the unit appeared to be original to the dwelling is likely at the end of juice lifespan. Electric furnaces have a normal life expectancy of 15-20 years.



As a normal maintenance item, change or clean the return filters every few months or as per the manufacturer's specification.

Maintenance Needed: The coils were dirty in the air handler (1st floor) should be cleaned by a licensed HVAC contractor.



Concern Item: We noted a small amount of moisture underneath the air handler unit (1st floor) and recommend having the unit serviced by a licensed HVAC contractor.



The condensate drain line should be regularly cleaned by pouring white vinegar into the condensate drain line.

Ductwork

The exposed and accessible flex and duct board type ductwork was visually inspected. Unless noted below, the ductwork was found to be in satisfactory condition.

All registers and returns were operational.

Maintenance Needed: We noted mold-like spotting on the register in the northwest bedroom and recommend treating the register with a solution of bleach and water.



The ductwork should be periodically inspected to check the vapor barrier and prevent leakage of warm or cool air from the system (we recommend contacting Duke Energy / TECO regarding their duct testing which is a detailed check of the efficiency of the entire duct system). An installed heating and cooling source was noted in all rooms.

NOTE: All references to motors and mechanical equipment and their operations apply only to the time of the inspection. No warranties as to the length of the operation should be implied by this report. Some testing is not done within the scope of this inspection including refrigerant levels, refrigerant leakage, head pressures, supply and return coverage, blower door tests on ductwork, etc. Panels are not removed.

Fireplace

The fireplace is equipped with a damper. The fireplace damper was operational. We recommend having the unit cleaned prior to use.



ELECTRIC

Main Panel / Sub-Panel and Wiring

We inspected the circuitry in the 200-AMP 240-volt main panel located in the southeast bedroom. The main service disconnect is located in the panel.

The service entry conductor material is copper, which is fed in from underground. The home is equipped with copper non-metallic cable type (i.e. Romex) branch wiring.

The main service has an earth ground.

Correction Needed: Because PVC had been inserted in between the copper piping in the garage allow the installation of the water conditioning system, a grounding jumper should be added to ensure that the plumbing ground is functional.



The termination of the main ground wire for the electrical service was not accessible.

Circuit breakers are mechanical devices subject to wear and corrosion. Ideally, breakers should be "tripped" and reset annually by occupants to help keep the internal springs limber and the contacts free of oxides. Circuit breakers found to be faulty should be replaced.

In our opinion, the existing main service capacity is sufficient for the current electrical demand of the structure.

Correction Needed: We noted numerous open light boxes around the perimeter of the dwelling. These boxes should be covered until new fixtures are installed.





Correction Needed: The exposed wiring in the under stairs closet of the main hallway should be in conduit.



Correction Needed: The conduit was loose on the base of the food disposal under the left kitchen sink and should be properly secured.



Interior/Exterior Lights and Fixtures

A representative number of lights and switches were checked and, unless noted below, were operational at the time of inspection.

Replacement Needed: Many of the exterior light fixtures were heavily corroded and will need to be replaced.





Correction Needed: Any missing cover plates for the light switches throughout the dwelling should be replaced.





Repair Needed: We noticed numerous light bulbs were not working in and/or not installed throughout the dwelling and likely need the light bulbs replaced.









Repair Needed: The pull chain for the ceiling fan light fixture was stuck in could not be operated on the east side of the family room area.



Correction Needed: Ceiling fan northwest side of family room area was not grounded time the inspection.



Repair Needed: The pull cord for the air handler closet light fixture was not operational at the time of the inspection may need to be replaced.



Correction Needed: The light cover was not installed on the master bedroom closet light fixture.



Maintenance Needed: The ceiling fan in the southeast second-floor bedroom wobbled during operation and should be balanced.



For determination of function for all switches we recommend consulting the homeowner or builder.

Interior/Exterior Receptacles

The polarity and grounding in a sampling of receptacles were tested and unless noted below were found to be in satisfactory condition at the time of inspection.

Correction Needed: Any receptacles that were missing cover plates or had damaged cover plates should have them replaced.



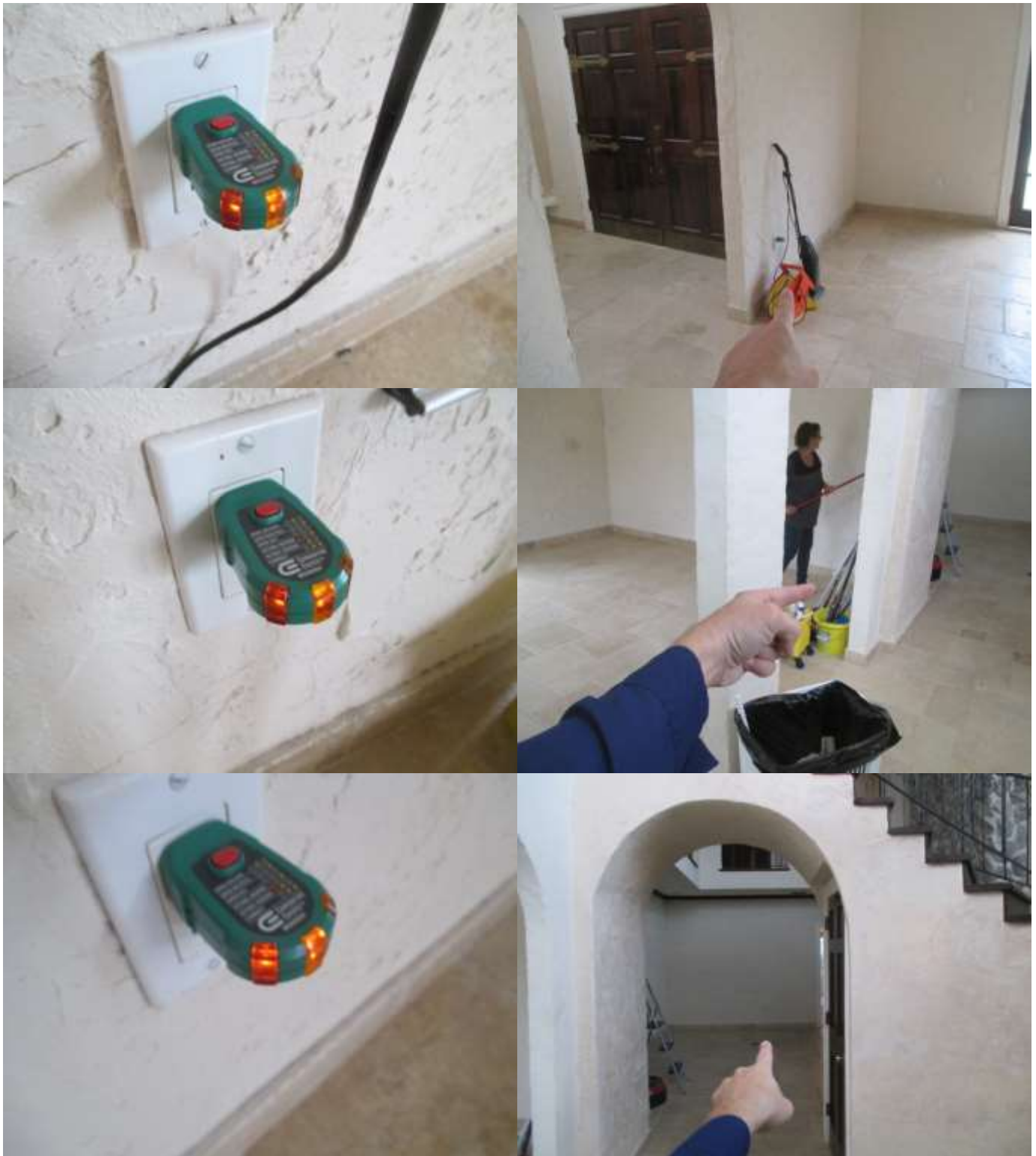


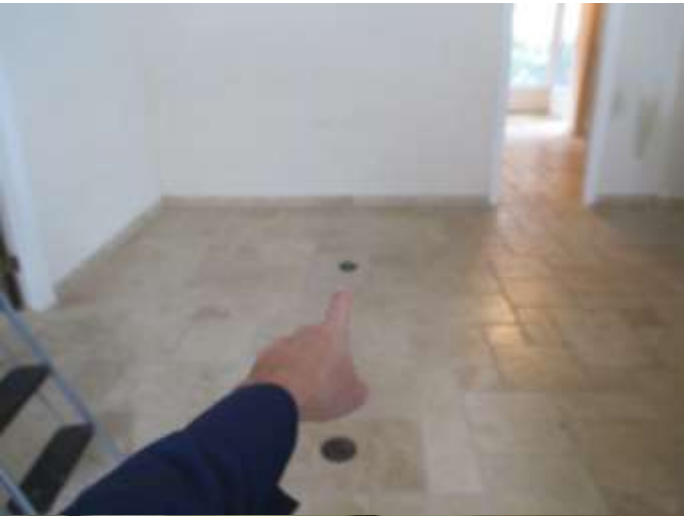
Correction Needed: The receptacle in the floor to the left of the staircase in the main entry hallway should be properly secured.



Correction needed: The following outlets had the hot and neutral wires reversed (reversed polarity), which should be corrected. Both

of the receptacles on the west wall of the northeast room off of the main hallway, the receptacle on the south wall of the living room area, the receptacle in the floor (south side) of the living room area, and the receptacle on the southeast corner (east wall) family room area.





Maintenance Needed: We noted numerous receptacles in cover plates that were loose throughout the dwelling should be properly secured.





Correction Needed: The cover plate was not installed on the south floor receptacle in the living room area.

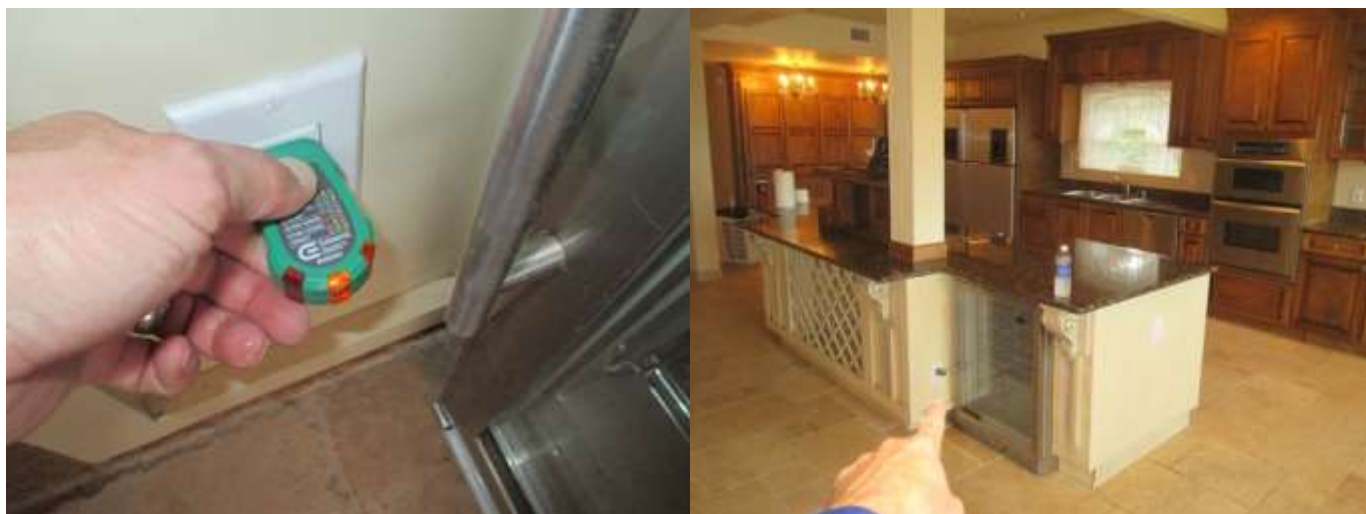


Except as noted below, the GFCI (Ground-Fault Circuit Interrupter) receptacles tripped at the proper level of fault current.

Correction Needed: The exterior GFCI receptacle on the south elevation was tripped and would not reset. The receptacle needed a new weather cover.



Correction Needed: Receptacle on the northeast side of the kitchen island (by wine cooler) was not GFCI protected per current standards.



GFCI receptacles should be tested monthly.

During any future upgrading of the electrical system or for added safety, we recommend installing GFCI (Ground-Fault Circuit Interrupter) receptacles in all appropriate areas to further reduce shock and/or short hazards.

Exterior receptacles should be weather-protected types.

Appliances with three prong plugs need to use a grounded outlet for proper safety.

Recommendation: For further evaluation and repair of the electrical systems we recommend you contact a licensed electrical contractor.

ATTIC AREA

The attic access opening is located in the master bedroom closet.

The attic was accessed through the opening using a ladder.

The roof and ceiling structure was visually inspected by physically crawling through the accessible attic area. A portion of the attic over the garage and in remote areas of the main attic was not accessible due to framing, insulation, HVAC equipment, etc. Insulation was not moved.

Attic Structure

The visually accessible roof and ceiling structure was found to have a customary and workmanlike appearance for a home of this age. The trussed system appeared to be adequate to carry the current roof load. We found no evidence of truss failure. Hurricane straps and clip fasteners were noted on a sampling of trusses where visually accessible.

Trusses are engineered units and should not be cut, notched, or modified in any way without an engineer's approval.

Insulation and Ventilation

The attic area over the main structure was insulated at an average depth of 8 inches with blown fiberglass. The attic is vented through the soffit and the roof vents.



NOTE: Reference to a current pest control report should be made as to the actual presence, extent and recommended correction of any wood-destroying pest and/or organism activity within the structure.

INTERIOR

Interior - General Condition

Correction Needed: The left hand rail was loose at the base of the stairs and should be reinforced (safety concern).



At the time of the inspection the interior was found to be in satisfactory overall condition. The dwelling appeared to have been cared for throughout.

Windows

A representative number of windows and interior doors were checked.

We noted the following types of window units installed in the dwelling:

- Single and double-hung single and double-glazed aluminum and vinyl units

Unless noted below, the window units tested were in satisfactory condition.

Repair Needed: The window in the northwest bedroom would not stay open.



General Information Item: The window in the southwest bedroom had a wood dowel installed that we could not remove. As such the window could not be opened.



Repair Needed: The east window in the southeast bedroom had a detached control springs.



Correction Needed: Some of the window screens were not installed or damaged randomly throughout the dwelling and should be replaced.



Repair Needed: The latch was not installed, the control springs were detached in the window would not stay open during operation (east window) in the master bedroom.





Repair Needed: We noted what appeared to be the seal loose in the skylight over the master bathroom.



Repair Needed: The latch was not installed, the control springs were detached in the window would not stay open during operation in the southeast second-floor bedroom and bathroom.





Repair Needed: The control springs were detached in the window would not stay open in the second-floor hall bathroom.





Most windows need periodic adjustment or minor repair over time to work properly. We recommend lubricating metal and vinyl window units periodically with silicone spray to ease operation. Bar soap can be used to lubricate wood window units.

Doors

The main entry door appeared to be in satisfactory condition. The unit is equipped with caller visibility.

Repair Needed: The bottom latch pin on the right main entry door rubbed against the flooring during operation. This has scuffed the floor in this area. The bottom latch was also damaged and will likely need to be replaced.





Repair Needed: The doorway between the second floor hallway and the west deck rubbed against the doorframe. We also noted deterioration to the base of the doorframe.



Correction Needed: The exterior doors in the northwest bedroom needed adjustment to seal fully when closed.



Repair Needed: The exterior doors in the southwest bedroom needed adjustment to seal fully when closed. The lower pin latch on the left side of the doorway would not disengage.



Repair Needed: The glazing in the south hall bathroom had been taped over on the exterior door should be properly sealed and/or secured. The door should also be adjusted to prevent rubbing against frame during operation.



Repair Needed: We noted some wood deterioration on the exterior door in the breakfast nook area that should be repaired and resealed prevent further damage. The door should also be adjusted to latch properly.



Repair Needed: The west exterior door in the master bedroom should have additional weather stripping installed along the base of the door to help with heating cooling costs. The striker plate should also be installed for the deadbolt lock. The wood deterioration at the base the door and frame should be repaired and resealed.



Unless noted below, the interior doors were in satisfactory condition.

Correction Needed: The striker plate for the door to the northwest bedroom was missing.



Maintenance Needed: Many of the exterior double doors (over sliding glass doors) were warped and/or were in need of adjustment to prevent rubbing against one another, on the flooring, or the frame during operation.



Adjustment Needed: The interior closet door (under the stairs) should be adjusted latch properly.



Adjustment Needed: The door between the living room and laundry room should be adjusted latch properly.



Correction Needed: The doorstops were not installed on the double doors in the east bedroom of the living room area.



Repair Needed: The bottom latch was stuck in the deployed position on the exterior double doors in the east bedroom. The metal stripping on the side of the door was bent and should be properly secured.



Maintenance Needed: The door knob was loose to the southeast bedroom from the south hall and should be secured.



Correction Needed: The air handler closet door (1st floor) was resting on the floor and should be properly secured to ease operation.



Repair Needed: We noted a crack in the doorframe to the master bedroom and the striker plate was not installed. The door also rubbed against the doorframe should be adjusted.



Adjustment Needed: The master bathroom door rubbed against the frame during operation.



Adjustment Needed: The southeast bathroom door rubbed against the frame and flooring during operation.



Adjustment Needed: The second-floor hall bathroom should be adjusted latch properly.



Except as noted below, the door from the interior to the garage was in satisfactory condition.

Adjustment Needed: The interior garage door should be adjusted to prevent rubbing against frame.



Unless noted below, the sliding glass doors were all operational.

Correction Needed: Screen doors were not installed on the sliding glass doors to the dwelling.



Repair Needed: The sliding glass doors on the north and east walls of the northeast room off of the main hallway did not operate smoothly. We recommend removing the debris from the tracks lubricating them with silicone spray to try and ease operation and may need the track guide rollers replaced.



Maintenance Needed: The interior sliding glass door opening should be resealed to help with heating cooling costs.



Repair Needed: The handle was damaged on the sliding glass door in the east bedroom.



Correction Needed: The receiver was not installed on the south sliding glass door in the southeast bedroom door could not be secured.



Maintenance Needed: The exterior sliding glass door openings should be resealed to prevent moisture intrusion.



Repair Needed: The handle was damaged on the sliding glass door unit in the southeast second-floor bedroom. The door was difficult operate and likely needs the track guide rollers replaced.



Periodic maintenance can be expected for the units to work smoothly. We recommend periodically lubricating sliding glass door units with silicone spray.

The garage door openers and safety returns were operational at the time of inspection.

Smoke Alarms and CO Detectors

Correction Needed: The smoke detector in the south 1st floor hallway and second floor hallway had been removed. The smoke alarm on the east side of the 2nd floor hallway was hanging by its wiring should be properly secured.





We recommend checking and maintaining smoke alarms in all appropriate areas for fire safety. Hardwired units with battery backup are recommended.

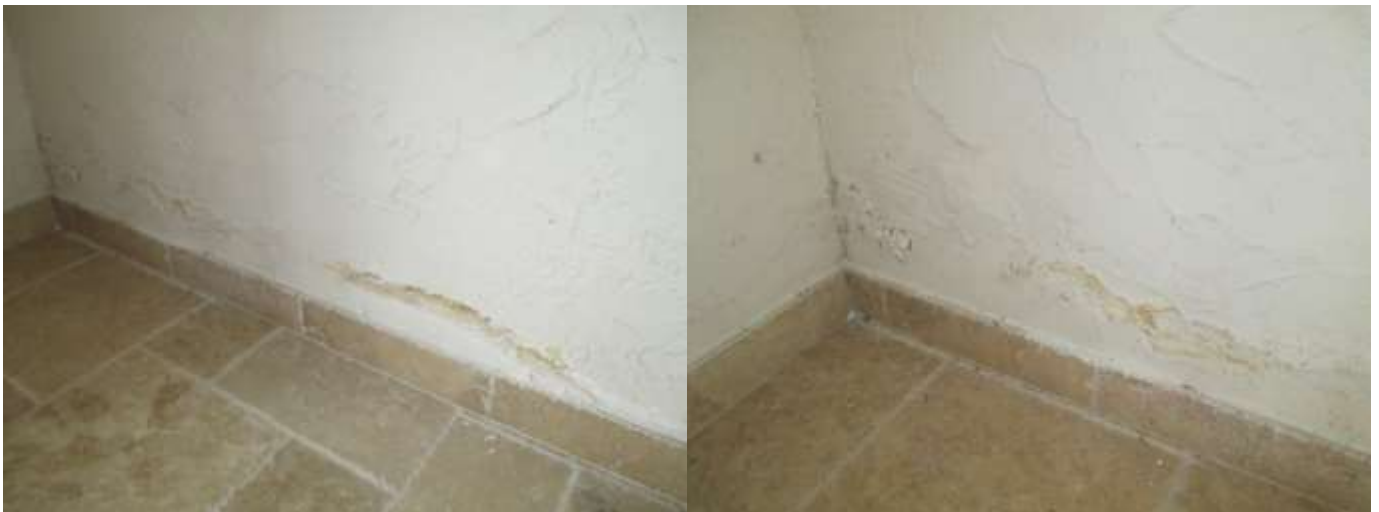
Walls and Ceilings

Concern Item: We notice some repairs around the window openings over the north and west walls of the main entry hallway. It appeared that the window opening on the northwest side of the north wall was still actively leaking (see Exterior notes).





Concern Item: We noted staining to the ceiling and the base of the wall in the northeast corner of the northeast room off of the main entry hallway. These areas tested negative for elevated moisture the time of the inspection.





Cosmetic Item: We noted a stain on the ceiling on the north side of the east bedroom. This area tested negative for elevated moisture the time of the inspection.



Cosmetic Item: We noted past repairs to the ceiling on the north side of the family room area. These areas tested negative for elevated moisture the time of the inspection.



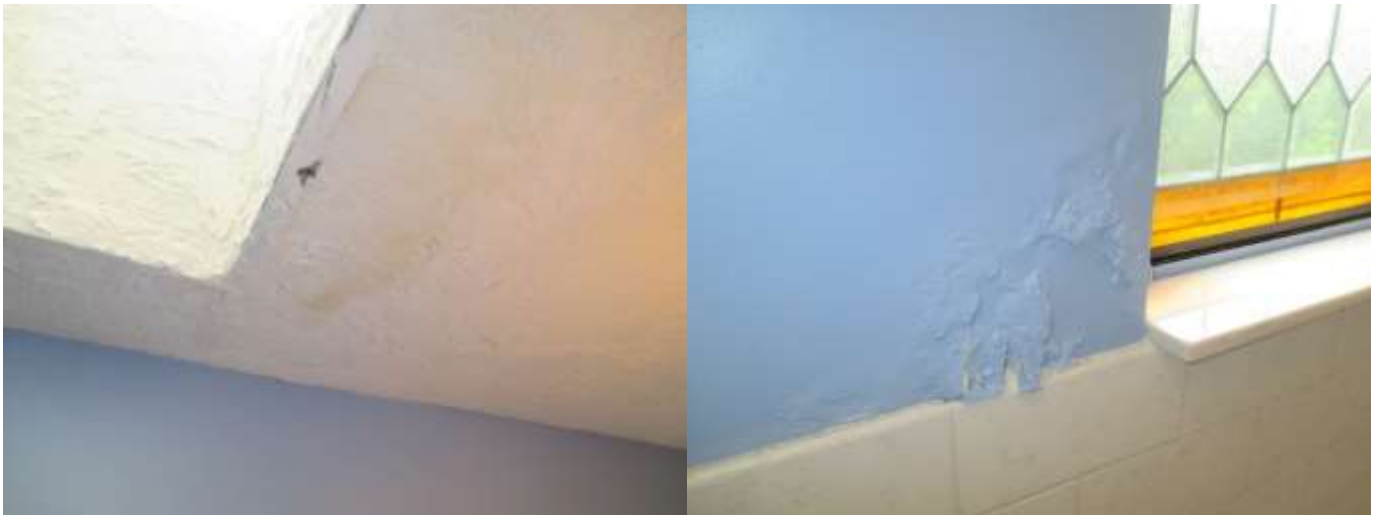
Cosmetic Item: We noted some staining to the wall to the left of the hot water heater unit in the laundry room area. This area tested negative for elevated moisture at time the inspection.



Correction Needed: We noted that the drywall along the west wall of the laundry room was in direct contact with the ground and should be cut to correct this.



Concern Item: We noted damage to the plaster around the master bathroom window, around the skylight opening and above the mirror over the left sink. Though these areas tested negative for elevated moisture the time of the inspection recommend periodically monitoring this area (see Exterior and Roof notes).





Maintenance Needed: We noted some staining on either side of the threshold to the master bathroom shower. These areas tested negative for elevated moisture the time the inspection should be resealed to prevent further damage.



At the time of the inspection, we found minor (i.e. hairline or less than 1/8" etc.) cracking to the ceilings and walls in some areas. These can be repaired the next time any painting is done in these areas.

Flooring

The floor coverings were in fair to poor overall condition.

Repair Needed: The floor coverings at the west end of the second-floor hallway were missing.



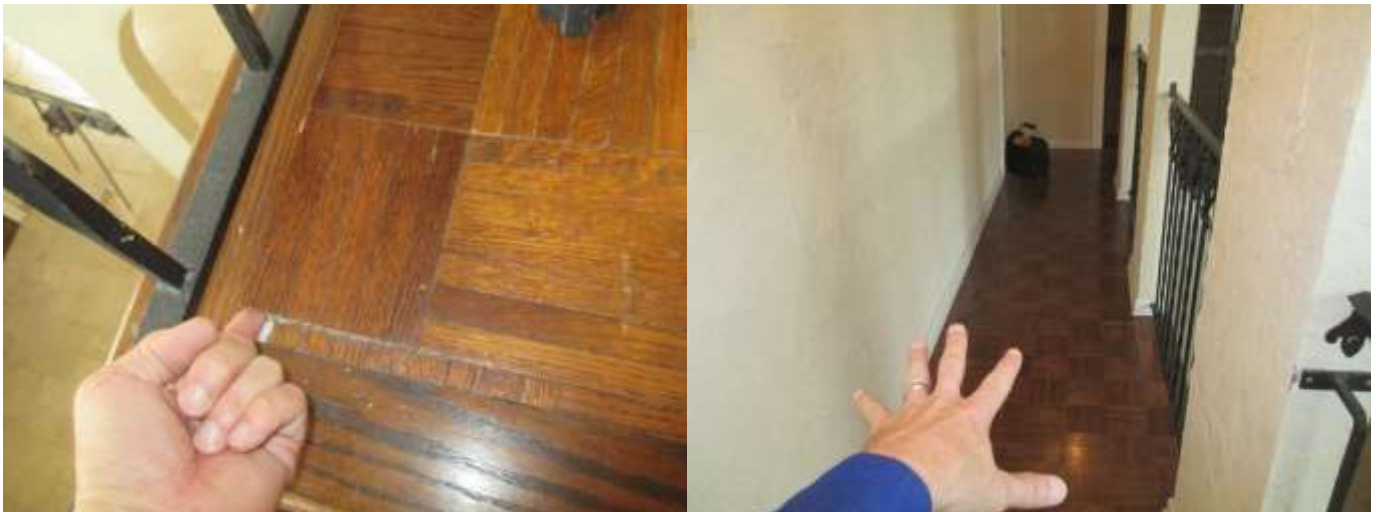
Repair Needed: At the doorway to the southwest bedroom, we noted that the wood flooring was raised. The subfloor below this area will need to be leveled.



Repair Needed: We noted deterioration and staining to the wood flooring at the threshold for all of the exterior bedroom doors.



Repair Needed: We noted loose flooring randomly throughout the 2nd floor.



Maintenance Needed: Noted some cracking in the tile flooring in the second-floor hall bathroom that should be resealed and/or replaced to prevent moisture intrusion.



Cabinetry

The kitchen and bath counters and cabinets were in satisfactory condition.

Appliances

Unless noted below, the installed appliances were operational at the time of the inspection.

Repair Needed: Both of the kitchen food disposals were not operational the time of the inspection.



Repair Needed: The left dishwasher was not operational at the time of the inspection.



General Information Item: The right dishwasher was not able to be operated at the time of the inspection due to the sink backing up and recommend having this operational at final walk-through.



For General Information: The refrigerator was turned off or unplugged at the time of inspection. There was insufficient time during inspection to test the functioning of this unit. We recommend having the unit turned on 24 hours prior to final walk-through so it can be checked at the final walk-through.



Repair Needed: The oven light (in the island) was not operational at time of the inspection likely needs the light bulb replaced.



Repair Needed: Wine cooler on the north side of the kitchen island did not appear to be operational.



Maintenance Needed: The islands oven handle was loose and should be secured. The small oven door should be adjusted to close properly.



Dishwashers, ranges, ovens, cook tops, exhaust fans and refrigerators have a life expectancy of 12-20 years. Appliances are checked for basic functioning only. Self-cleaning functions on ovens and ranges are not checked in the scope of this inspection.

NOTE: Appliance items are only turned on to check for general functionality. All references to appliances, motors, and mechanical equipment and their operations apply only to the time of inspection. No warranties as to the length of operation should be implied by this report.

SUMMATION

The structure appears to have been built using generally accepted construction practices, techniques, and materials in relation to buildings of a similar age and style of construction.

As is the case in older structures, some items do not comply with present day code requirements. Code changes and revisions are made continuously, therefore only the most recently built structures are in total compliance. Changes in building construction practices (i.e. fasteners, bracing, materials, etc.) have been made to further protect against wind and damaging weather, particularly at gable end areas. It is possible in some cases, if desired, to retrofit existing structures with additional bracing and fasteners to increase protection. If more information is desired regarding this we recommend contacting a licensed contractor or engineer.

There was no visible evidence of substantial wood damage (rot or termite) to the structure; however, it should not be assumed that no damage exists in inaccessible areas. It is possible some damage could be uncovered at the time any repairs or remodeling requiring tearing out or dismantling are undertaken. This is typical for any structure, and damage should be repaired if found.

This report represents only a portion of the inspection process and should not be relied on by a third party as a complete representation of the facts.

For more detailed information or if there is any question on what method was used, or how conclusions are reached, please feel free to call our office.

Thank you very much for using our services. Please let us know if there is anything further that you may require.

Sincerely,



Geoff Clark
Florida State Licensed Home Inspector #HI715
ASHI Certified Building Inspector #249432
THOMPSON AND BENDER INSPECTIONS

Executive Summary

Noted summary items are for quick reference or synopsis and not intended to replace related content within the report narrative. We strongly recommend reading the full narrative of the report.

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GENERAL CONDITION OF DWELLING 4

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Concern Item: This roof appears to be approximately 30 years old (circa 1984) and is at the end of its useful lifespan. The average life expectancy for this type of roof is 20-30 years in Florida..... 4

Repair Needed: We noted numerous cracked and damaged tiles that were exposing underlayment..... 4

Repair Needed: some of the exposed underlayment was showing signs of deterioration and will need to be repaired or replaced..... 6

Recommendation: We recommend contacting a licensed roofing contractor regarding replacement of this roof..... 7

Vents and Flashings..... 7

Repair Needed: The masonry crown and cap were heavily deteriorated and will need to be rebuilt or removed..... 7

Replacement Needed: The metal cap for the chimney had corroded away.... 8

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Concern Item: Due to the lack of drainage openings (weep screeds) in the stucco siding for the framed 2nd story, it is very important to ensure that any gaps or cracks in the stucco are properly sealed to prevent

moisture from penetrating behind the siding and damaging the framing and sheathing.	9
Concern Item: The windows and doorways were missing casing beads in the stucco, which will make it difficult to keep the openings in the exterior wall from leaking.	9
Repair Needed: We noted numerous areas where the stucco siding on the framed portions of the dwelling were heavily cracked and/or buckling. Active moisture intrusion was detected in many of these areas. In some areas the stucco had opened to the point where the sheathing was exposed. We recommend removing all stucco from the framed portions of the dwelling to allow further inspection and, if necessary, repair to the sheathing and framing. Any new stucco should be installed with the appropriate drainage to meet current standards.	9
Maintenance Needed: The exterior doorways and window opening should be resealed.	12
Maintenance Needed: Any vegetation contact with the exterior walls should be trimmed back.	13
NORTH ELEVATION:	13
Repair Needed: We noted cracks and detected active moisture intrusion behind the stucco on the walls inside the archways located to the right of the main entry. The stucco siding should be removed to allow further inspection of the sheathing and framing.	13
Repair Needed: Some of the balusters for the railing around the lower deck at the northeast corner of the dwelling were coming loose.	14
Repair Needed: The pavers on the upper deck at the northeast corner the dwelling should be reset and secured.	14
SOUTH ELEVATION:	15
Repair Needed: The stucco siding on the field and archway behind the spiral staircase was heavily cracked and deteriorated. We noted deteriorated framing behind the stucco. The stucco should be removed to allow the area to be properly repaired.	15
Repair Needed: The corners of the railing around the upper deck at the southeast corner the dwelling were not secured to the deck. The pavers on the deck should be reset and secured.	16
Maintenance Needed: The window openings on the sunroom should be sealed prevent moisture intrusion behind the stucco.	16
Repair Needed: The loose pavers on the upper deck near the midpoint the elevation should be reset and secured.	17
EAST ELEVATION:	17
Repair Needed: We noted cracks in the privacy wall at the northeast corner the dwelling. The wall may need to be rebuilt.	17

Maintenance Needed: The penetrations through the exterior wall for the air conditioning and electrical piping should be sealed as part of pest and moisture prevention.....	18
WEST ELEVATION:.....	19
Repair Needed: We noted cracks and detected active moisture intrusion behind the stucco on the walls inside the along the elevation. The stucco siding should be removed to allow further inspection of the sheathing and framing.....	19
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Gutters.....	24
Correction Needed: The gutters along the upper roof were holding water and should be adjusted so that water will flow towards the downspout. We also noted leaking from the gutters.....	24
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Distribution, Drain and Vent Piping.....	25
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Correction Needed: The standpipe in the laundry did not appear to have a drain trap installed. They should be corrected to prevent sewer gases from venting into the room (safety concern).....	25
Repair Needed: The hot control knob was leaking at the sink in the south hall bathroom should be replaced.....	26
Correction Needed: The showerhead was not installed in the south hall and southeast second-floor bathroom shower and should be replaced.....	26
Repair Needed: The control knob was leaking in the south hall bathroom shower and likely needs the cartridge replaced.....	27
Repair Needed: Commode was leaking at the base in the south hall bathroom and the wax ring should be replaced.....	27

Repair Needed: We noted a leak from the drain pipe under the left set of kitchen sinks and the faucet was leaking at the switch mechanism.....	28
Maintenance Needed: The left kitchen sink (left set) was not drain properly the time of the inspection will need servicing.....	28
Repair Needed: The right kitchen sink could not be operated time of the inspection. It was stated that the sink backs up and recommend having this operational at final walk-through.....	28
Correction Needed: The master bathroom commode and bidet were loose the base and should be secured.....	29
Repair Needed: The left master bathroom sink drain pipe was leaking...	29
Maintenance Needed: The left master bathroom sink drained slowly the time the inspection will need servicing.....	30
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Repair Needed: The whirlpool tub was not operational the time of the inspection. A plumbing and motor access was not present at the time of the inspection and could not determine if a dedicated GFCI receptacle was present. We recommend verifying that it is GFCI protected prior to use.	32
Tile and Waterproofing.....	32
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Hot Water Heater.....	36
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AIR CONDITIONING/HEATING 37

Heat Pump System..... 37

Repair needed: The air conditioning mode on the 1st floor did not appear to be operating properly at the time of the inspection. In the A/C mode the supply air was 62.4°; the return air was 83.1° for an operating differential of 20.7°. The normal operating differential range is between 14.0° and 20.0°..... 37

Repair needed: The air conditioning mode on the second-floor did not appear to be operating properly at the time of the inspection. In the A/C mode the supply air was 68.5°; the return air was 85.1° for an operating differential of 16.6°. The normal operating differential range is between 14.0° and 20.0°..... 38

General Information Item: The heat mode was not tested due to the high ambient air temperature..... 38

Recommendation: We recommend having a licensed heating and air contractor service the system and repair as necessary..... 38

General Information Item: We noted the remnants of a heat recovery system mounted on the wall behind the heat pump units. The unit was no longer in use at the time of inspection..... 38

Air Handler..... 39

Concern Item: We could not determine the size or age of the air handler unit in the second-floor hallway closet from the manufacturer's plate. Based on our visual inspection, the unit appeared to be original to the dwelling is likely at the end of juice lifespan. Electric furnaces have a normal life expectancy of 15-20 years..... 39

Maintenance Needed: The coils were dirty in the air handler (1st floor) should be cleaned by a licensed HVAC contractor..... 40

Concern Item: We noted a small amount of moisture underneath the air handler unit (1st floor) and recommend having the unit serviced by a licensed HVAC contractor..... 40

Ductwork..... 41

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Correction Needed: Because PVC had been inserted in between the copper piping in the garage allow the installation of the water conditioning system, a grounding jumper should be added to ensure that the plumbing ground is functional..... 42

Correction Needed: We noted numerous open light boxes around the perimeter of the dwelling. These boxes should be covered until new fixtures are installed..... 43

Correction Needed: The exposed wiring in the under stairs closet of the main hallway should be in conduit..... 44

Correction Needed: The conduit was loose on the base of the food disposal under the left kitchen sink and should be properly secured..... 45

Interior/Exterior Lights and Fixtures..... 45

Replacement Needed: Many of the exterior light fixtures were heavily corroded and will need to be replaced..... 45

Correction Needed: Any missing cover plates for the light switches throughout the dwelling should be replaced..... 46

Repair Needed: We noticed numerous light bulbs were not working in and/or not installed throughout the dwelling and likely need the light bulbs replaced..... 47

Repair Needed: The pool chain for the ceiling fan light fixture was stuck in could not be operated on the east side of the family room area..... 50

Correction Needed: Ceiling fan northwest side of family room area was not grounded time the inspection..... 50

Repair Needed: The pull cord for the air handler closet light fixture was not operational at the time of the inspection may need to be replaced. 51

Correction Needed: The light cover was not installed on the master bedroom closet light fixture..... 51

Maintenance Needed: The ceiling fan in the southeast second-floor bedroom wobbled during operation and should be balanced..... 52

Interior/Exterior Receptacles..... 52

Correction Needed: Any receptacles that were missing cover plates or had damaged cover plates should have them replaced..... 52

Correction Needed: The receptacle in the floor to the left of the staircase in the main entry hallway should be properly secured..... 54

Correction needed: The following outlets had the hot and neutral wires reversed (reversed polarity), which should be corrected. Both of the receptacles on the west wall of the northeast room off of the main hallway, the receptacle on the south wall of the living room area, the receptacle in the floor (south side) of the living room area, and the receptacle on the southeast corner (east wall) family room area..... 54

Maintenance Needed: We noted numerous receptacles in cover plates that were loose throughout the dwelling should be properly secured.....	56
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Repair Needed: The control springs were detached in the window would not stay open in the second-floor hall bathroom.....	65

Doors..... 66

Repair Needed: The bottom latch pin on the right main entry door rubbed against the flooring during operation. This has scared the floor in this area. The bottom latch was also damaged and will likely need to be replaced. 66

Repair Needed: The doorway between the second floor hallway and the west deck rubbed against the doorframe. We also noted deterioration to the base of the doorframe. 67

Correction Needed: The exterior doors in the northwest bedroom needed adjustment to seal fully when closed. 67

Repair Needed: The exterior doors in the southwest bedroom needed adjustment to seal fully when closed. The lower pin latch on the left side of the doorway would not disengage. 68

Repair Needed: The glazing in the south hall bathroom had been taped over on the exterior door should be properly sealed and/or secured. The door should also be adjusted to prevent rubbing against frame during operation. 68

Repair Needed: We noted some wood deterioration on the exterior door in the breakfast nook area that should be repaired and resealed prevent further damage. The door should also be adjusted to latch properly.... 69

Repair Needed: The west exterior door in the master bedroom should have additional weather stripping installed along the base of the door to help with heating cooling costs. The striker plate should also be installed for the deadbolt lock. The wood deterioration at the base the door and frame should be repaired and resealed. 70

Correction Needed: The striker plate for the door to the northwest bedroom was missing. 70

Maintenance Needed: Many of the exterior double doors (over sliding glass doors) were warped and/or were in need of adjustment to prevent rubbing against one another, on the flooring, or the frame during operation... 71

Adjustment Needed: The interior closet door (under the stairs) should be adjusted latch properly. 72

Adjustment Needed: The door between the living room and laundry room should be adjusted latch properly. 72

Correction Needed: The doorstops were not installed on the double doors in the east bedroom of the living room area. 72

Repair Needed: The bottom latch was stuck in the deployed position on the exterior double doors in the east bedroom. The metal stripping on the side of the door was bent and should be properly secured. 73

Maintenance Needed: The door knob was loose to the southeast bedroom from the south hall and should be secured. 74

Correction Needed: The air handler closet door (1st floor) was resting on the floor and should be properly secured to ease operation. 75

Repair Needed: We noted a crack in the doorframe to the master bedroom and the striker plate was not installed. The door also rubbed against the doorframe should be adjusted.	76
Adjustment Needed: The master bathroom door rubbed against the frame during operation.	76
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Adjustment Needed: The second-floor hall bathroom should be adjusted latch properly.	77
Adjustment Needed: The interior garage door should be adjusted to prevent rubbing against frame.	78
Correction Needed: Screen doors were not installed on the sliding glass doors to the dwelling.	78
Repair Needed: The sliding glass doors on the north and east walls of the northeast room off of the main hallway did not operate smoothly. We recommend removing the debris from the tracks lubricating them with silicone spray to try and ease operation and may need the track guide rollers replaced.	79
Maintenance Needed: The interior sliding glass door opening should be resealed to help with heating cooling costs.	79
Repair Needed: The handle was damaged on the sliding glass door in the east bedroom.	80
Correction Needed: The receiver was not installed on the south sliding glass door in the southeast bedroom door could not be secured.	81
Maintenance Needed: The exterior sliding glass door openings should be resealed to prevent moisture intrusion.	81
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Smoke Alarms and CO Detectors.	83
Correction Needed: The smoke detector in the south 1 st floor hallway and second floor hallway had been removed. The smoke alarm on the east side of the 2 nd floor hallway was hanging by its wiring should be properly secured.	83
Walls and Ceilings.	84
Concern Item: We notice some repairs around the window openings over the north and west walls of the main entry hallway. It appeared that the window opening on the northwest side of the north wall was still actively leaking (see Exterior notes).	84
Concern Item: We noted staining to the ceiling and the base of the wall in the northeast corner of the northeast room off of the main entry hallway. These areas tested negative for elevated moisture the time of the inspection.	85

Cosmetic Item: We noted a stain on the ceiling on the north side of the east bedroom. This area tested negative for elevated moisture the time of the inspection.....	86
Cosmetic Item: We noted past repairs to the ceiling on the north side of the family room area. These areas tested negative for elevated moisture the time of the inspection.....	86
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Correction Needed: We noted that the drywall along the west wall of the laundry room was in direct contact with the ground and should be cut to correct this.....	88
Concern Item: We noted damage to the plaster around the master bathroom window, around the skylight opening and above the mirror over the left sink. Though these areas tested negative for elevated moisture the time of the inspection recommend periodically monitoring this area (see Exterior and Roof notes).....	88
Maintenance Needed: We noted some staining on either side of the threshold to the master bathroom shower. These areas tested negative for elevated moisture the time the inspection should be resealed to prevent further damage.....	89
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Repair Needed: At the doorway to the southwest bedroom, we noted that the wood flooring was raised. The subfloor below this area will need to be leveled.....	90
Repair Needed: We noted deterioration and staining to the wood flooring at the threshold for all of the exterior bedroom doors.....	90
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Appliances.....	92
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Repair Needed: The left dishwasher was not operational at the time of the inspection.....	92

General Information Item: The right dishwasher was not able to be operated at the time of the inspection due to the sink backing up and recommend having this operational at final walk-through..... 93

For General Information: The refrigerator was turned off or unplugged at the time of inspection. There was insufficient time during inspection to test the functioning of this unit. We recommend having the unit turned on 24 hours prior to final walk-through so it can be checked at the final walk-through..... 93

Repair Needed: The oven light (in the island) was not operational at time of the inspection likely needs the light bulb replaced..... 94

Repair Needed: Wine cooler on the north side of the kitchen island did not appear to be operational..... 94

Maintenance Needed: The islands oven handle was loose and should be secured. The small oven door should be adjusted to close properly..... 95

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